

CCLD Annual Update



January 12, 2026



Building codes and standards update State Building Official Greg Metz

- Building Official Training Grants
- CCLD rulemaking updates
- Legislative updates

Building Official Training (BOT) Grants Program

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BOT Grants Program update

- 10 grants available, \$75,000 each
- 11 applicants
- 10 grants awarded



- Albert Lea
- Alexandria
- Brooklyn Center
- Chaska
- Crystal
- Eagan
- Golden Valley
- Moorhead
- Ramsey
- St. Paul

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CCLD rulemaking updates

- 1300, 1301, 1302, & 1303 Administration & Special Provisions
- 1305 Commercial Building
- 1309 Residential Code
- 1311 Existing Buildings
- 1322 Residential Energy
- 1323 Commercial Energy
- 1341 Accessibility
- 1346 Mechanical & Fuel Gas
- 4714 Plumbing

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1300, 1301, 1302, 1303 Admin. & Special Provisions

MR 1300 Administrative Provisions

- IRC-1, IRC-2, and IRC-3 are clarified as non-transient
- Single Family dwelling is defined as freestanding detached with one dwelling unit and may include an attached garage.
- Two-Family dwelling is defined as a freestanding detached structure with two dwelling units and may include attached garages.
- IRC-4 accessory structures are limited to 2,500 square feet and may not include dwelling or sleeping units.



MR 1300 Administrative Provisions

- Permit applicant is now required to be responsible for coordinating the work and ensuring that the work complies with code.
- Mechanical, plumbing, and electrical systems designs are required before building permits are issued when buildings must comply with energy codes.
- Building permit & plan review fees must be directly and exclusively related to work regulated by the building code. Plan review and permit fees must be identified separately from other types of fees.
- Plan review and permit fees **MUST** be expended **ONLY** for code administration.



MN Rule 1301.0300 revisions to building official certification

Education points:

AAS degree in building inspection technology (60+ college credits): **100 pts**

Construction codes inspections certificate (30 college credits): **60 pts**

Building inspections technologies certificate (14 college credits): **28 pts**

Exams prerequisites:

Minnesota certified building official: 100 pts

Minnesota limited building official: 30 pts

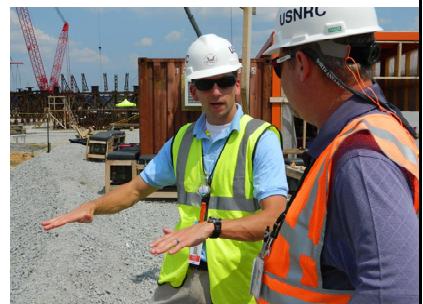
Experience points:

Fulltime building inspection under a MN certified building official: 5 pts/3 mo

Fulltime building construction related work: 5 pts/6 months

MR 1301 Building Official Certification

- Limited BO may provide code administration for all building types except public buildings and state licensed facilities under the direct supervision of a certified building official.



MR 1301 Building Official Certification

- Continuing Education restructured to 50 content minutes = 1 hour CE
- New requirement for not less than 3-hours of Plumbing CE every 2- yrs
- Mechanical and plumbing inspectors must complete not less than 6-hours of continuing education in their specialty.
- Inspectors required to be registered with DLI and submit their continuing education for competency.



MR 1303 Minnesota Special Provisions

- Requirement for Commuter Van parking spaces repealed.
- Requirement for recycling space repealed
- Where solid waste is collected by chute, a separate chute shall be provided for recyclable materials.



MR 1303 Minnesota Special Provisions- Radon

- Soil-gas membrane for radon mitigation must be cross-laminated polyethylene in areas not covered by concrete.
- All sumps connected to drain tile or the gas-permeable layer shall have a sealed cover.
- Radon testing & compliance is required prior to Certificate of Occupancy for all residential occupancies in contact with the ground.
- Gas vent pipes must be in an accessible location without entering the attic



MR 1303 MN Provisions- Frost Depth

Modify frost depth requirements

Zone 1:

Heated Buildings- 60" depth
Unheated Structures 72" depth*

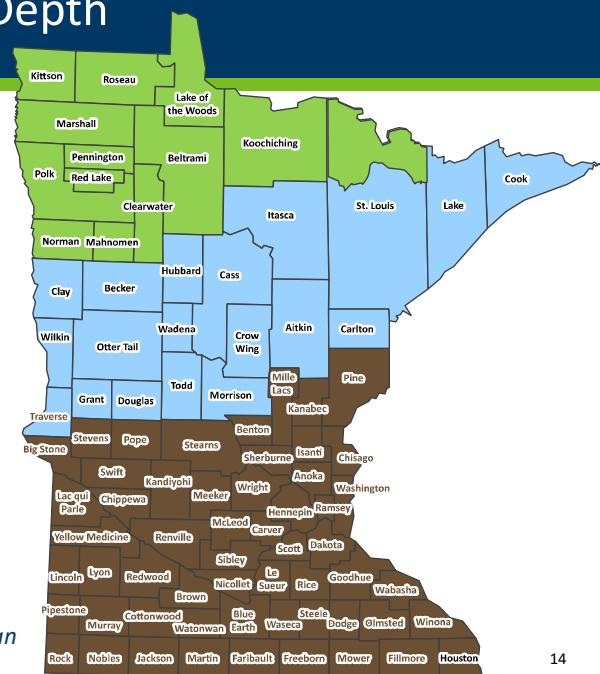
Zone 2:

Heated Buildings- 48" depth
Unheated Structures 60" depth*

Zone 3:

Heated Buildings- 36" depth
Unheated Structures 48" depth*

*Unheated garages insulated to the energy code and with not less than 20% common wall with a heated structure may use "heated" depth



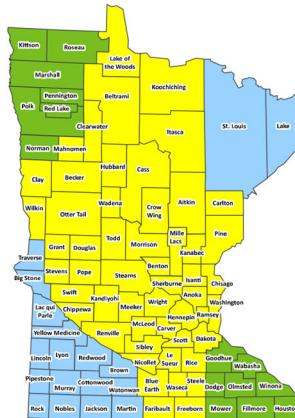
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MR 1303 Minnesota Provisions: Snow Load

Ground Snow

Amend MR 1303.1700

- Three ground snow zones reflecting available detailed data.
- 1305/IBC buildings use ASCE 7 for ground snow criteria.



Snow Load Map

Heavy Snow Load Zone

- Ground Snow Load 60 psf
- Roof Snow Load 42 psf

Medium Snow Load Zone

- Ground Snow Load 50 psf
- Roof Snow Load 35 psf

Light Snow Load Zone

- Ground Snow Load 40 psf
- Roof Snow Load 28 psf

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1305 Commercial Building Code

MR 1305 Building Code: Assisted Living

- Update Occupancy classification table on care facilities for consistency between the Building Code, MDH and DHS for care facilities classification and licensing.
- Assisted living is **NOT** IRC-1.
- Assisted living **is:**
 - R-3 for 5 or fewer [308.2.4 and 308.3.2]
 - R-4 Condition 2 for 6-16 (not dementia care) [308.2.3]
 - I-1 Condition 2 for 17+ (not dementia care) [308.2.2]
 - I-2 Condition 1 for 6+ (dementia care) [308.3.1.1]

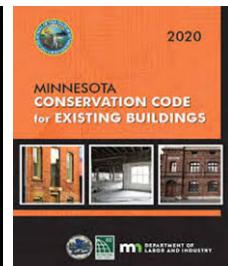
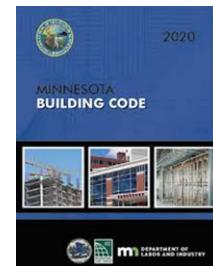
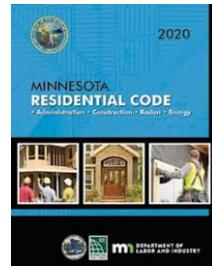


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MR 1305 Building Code: Assisted Living

Assisted Living as R-3:

- May be constructed per MN Rule 1309
- If following MR 1305, then may use MR 1311



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MR 1305 Building Code: Assisted Living

R-3 Constructed per MR 1309 will require:

- Garage/dwelling unit fire separation
- Emergency escape and rescue openings in compliance with MR 1309.0310.2.5.1
- Smoke and CO alarms
- Sprinkler systems if the entire structure is over 4,500 square feet.
- Accessibility not required



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MR 1305 Building Code: Assisted Living

Assisted Living change of occupancy as

R-3, R-4, or I-1 Condition 2 per MR 1305 & 1311:

- | | |
|---|---|
| <ul style="list-style-type: none">• <i>Electrical Service</i> upgrade to NFPA 70• Number of electrical outlets per NFPA 70• Light and ventilation requirements per 1305• Emergency escape and rescue openings minimum 20" wide, 24" high, 4.5 SF clear.• Smoke and CO alarms• Sprinkler systems if the entire structure is over 4,500 square feet. | <ul style="list-style-type: none">• Accessible building entrance• Accessible route to primary function areas• Accessible signage• Accessible parking (where parking provided)• Accessible toilet and bathing facility |
|---|---|

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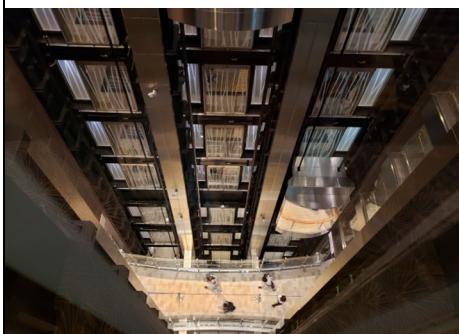
MR 1305 Building Code: Misc. Items

- Repeal multiple Minnesota amendments regarding exiting in I-2 hospitals because of updated IBC language to align with the current NFPA 101 and MDH requirements.
- Modify allowable area table for Group R-3 occupancies.
- Modify fire wall sections to require a NFPA 13 sprinkler system installed in all fire areas to utilize the exception for opening protection in fire walls.

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MR 1305 Building Code: Misc. Items

- Allow controlled egress door locking systems in Group E Setting 4 Special Education Facilities and where some settings include persons that are incapable of self-preservation.



- Add compliance to ASME A17.1 for elevator hoistway openings.

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MR 1305 Building Code: Single Exit Stairway Apartments

Single exit stairway proposal for Group R-2 up to four stories

- Maximum 4,000 square feet per story.
- Limit to four or fewer dwellings per story.
- NFPA 13 sprinkler system.
- Increased width for exit stair to 48".
- 1-hour fire-resistance rated required in corridors.
- Emergency escape and rescue openings required.
- *Similar proposal received support at the ICC Committee Actions Hearings, pending final outcome, would be approved for the 2027 IBC.*



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MR 1305 Building Code: Multi-user toilet rooms- General

Multi-user toilet rooms not separated by sex

- Compartment walls extend from floor to ceiling.
- Doors not undercut by more than 3/4".
- Locking device distinguishable as locked from both sides of the door.
- Lavatories required within 20% of compartments, but not less than one.



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MR 1305 Building Code: Multi-user toilet rooms- Group E

Multi-user toilet rooms not separated by sex- Group E additional provisions

- Observable from primary circulation areas for visual supervision.
- Doors to swing out and held open when not in use.
- No less than two entry points into each toilet facility.
- Lavatories required within 40% of compartments, but not less than two.



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1309 Residential Code

MR 1309 Residential Code Changes

- A registered design professional must provide an assessment when excavation will reduce the support for any existing foundations adjacent to the site.
- Increase the ceiling height for lofts in tiny houses from 36" to 42"
- R318.2 Frost footings required under landings at egress doors.
- Repeal 5,000 psf concrete requirement at footings.
- Modify Tables R404.1.1 (5), R404.1.1(6) and R404.1.1(7), to improve the structural capacity of tall, cantilevered concrete and masonry foundation walls.

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MR 1309 Residential Code Changes

- Mechanical provisions moved to MR 1309, Chapters 12- 24.
- Mechanical ventilation required, natural ventilation insufficient.
- Forced air heating systems in new dwellings to be designed per section M1201.1 of the 2024 IRC and tested in accordance with industry accepted practices to verify that it is capable of maintaining a room temperature in each habitable room of not less than 68° Fahrenheit at a point 3 feet above the floor and 2 feet from the exterior walls.
- Forced air ducts shall not penetrate dwelling unit separations.

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MR 1309 Adding Straw Bale Construction Appendix BJ

Adopting Appendix BJ Strawbale Construction with the following amendments:

- Require an approved third party to test the moisture content density of bales during construction.
- Require silicate mineral paint for exterior plasters applied over strawbale walls.
- Increase the ground separation of bales from 8" to 12".
- Require roof overhangs with a 20" for 1-story buildings and 30" for 2-story buildings unless provided with ventilated cladding.

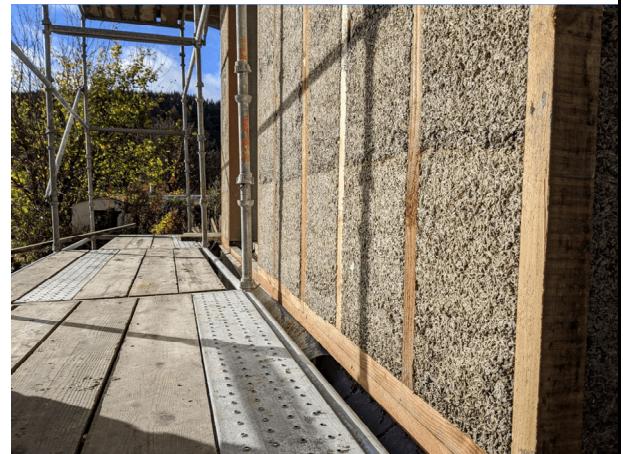


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MR 1309 Adding Hemp Lime Construction Appendix BL

Adopting Appendix BL for hemp-lime construction with the following amendments:

- Mechanical, electrical, and plumbing components that are made of metal shall be isolated from the hemp-lime.
- Require 24" roof overhang for 1-story buildings and a 30" for 2-story buildings unless walls are provided with a ventilated cladding system.



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MR 1309 Adding Accessory Dwelling Units Appendix BC



- Must still be authorized for land use by planning and zoning
- Only allowed to be accessory to a single-family detached dwelling
- Only ONE per single family dwelling
- May be either attached or detached
- One of the dwellings must be owner-occupied
- ADU must have a separate house number
- Each dwelling must have a separate entrance which may be from a shared common space. Entrance to one unit may NOT be through the other

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MR 1309 Adding Accessory Dwelling Units Appendix BC



- The ADU must be smaller than primary dwelling unit and shall comply with all of the following limits:
 - Between 190 and 1,200 square feet
 - Not more than 50 percent of the area of the primary dwelling unit.
- Maximum of 2-Bedrooms
- ADU shall be provided with independent toileting and bathing facilities, sleeping facilities, food preparation space including a sink, dedicated circuits for refrigeration and a range, and a living space.

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MR 1309 Adding Accessory Dwelling Units Appendix BC



- Independent climate control with separate thermostats
- Separate atmosphere (no air exchange btwn units)
- Fuel gas must be able to be accessed and controlled separately for each unit.
- Plumbing must comply with the MN Plumbing Code. Attached ADUs and primary dwellings must be able to control water supply separately
- Power must be able to be accessed and controlled separately for each unit without affecting the other.

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1311 MN Conservation Code for Existing Buildings

MR 1311 Existing Buildings- Storm Shelters

- Clarifying Storm Shelter Design Occupant Capacity
- Clarifying that when an addition is made requiring storm sheltering and that storm shelter does not satisfy the design occupant capacity, that the entire addition must be constructed as a storm shelter.
- Adding language allowing the building official to make a determination regarding the actual number of occupants for Design Occupant Capacity.
- Clarifying storm shelter scoping requirements for additions to critical emergency operations facilities.



MR 1311, Section 303 35

MR 1311 Existing Buildings- Fire & CO Detection & Alarms

- Where additions, alterations or changes of occupancy occur in existing buildings, smoke alarms, carbon monoxide alarms, and fire alarms are required to be installed per MR 1305 and MR 7511 throughout.



MR 1311, Section 307.1 & 308.1 36

MR 1311 Existing Buildings- Hoistway Opening Protection

Elevator hoistway protection required per MR 1305 on the story containing the work area when:

- Change of Occupancy is to a higher fire, life safety, or means of egress hazard level; or
 - Level 2 alterations exceed 50% of the floor area of a story.



MR 1311, Section 310.1 37

MR 1311 Existing Buildings- Energy Code

Current Energy Codes apply to:

- Additions to existing buildings
 - Alterations to existing buildings (just the altered work scope)
 - Replacement of portions of the building envelope, systems or equipment
 - Changes in space conditioning
 - Reconstruction due to substantial damage
 - Moved buildings



MR 1311, Section 312.1 38

MR 1311 Existing Buildings- Electric Vehicle Charging

EV Charging requirements per 1305 when:

- Building is undergoing Level 3 Alteration
- Additions with occupant loads more than 50 persons
- 25 or more parking spaces are added. (number of EV parking spaces need not exceed the number of spaces added)
- Change of Occupancy that adds dwelling units when there are four or more total dwellings.



MR 1311, Section 313.1 39

MR 1311 Existing Buildings- Mechanical

- Ventilation for a change of occupancy shall comply with the current code requirements for the new occupancy.
- Temperature control for a change of occupancy shall comply with the current code requirements for the new occupancy.



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MR 1311 Existing Buildings- MR 1309 to MR 1305 Buildings

When the use of building or portion of a building changes to a use classified as an occupancy regulated by Minnesota Rule 1305, the entire building shall be classified under Minnesota Rules 1305 and may utilize Minnesota Rule 1311. Minnesota Rule 1309 will no longer be applicable to any portion of the existing building.



Table 506.1, footnote (a) ⁴¹



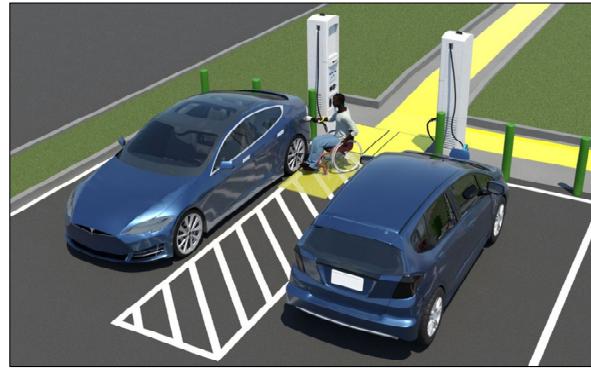
1341 MN Accessibility Code

MR 1341 Accessibility: EV Charging Spaces

Accessible electric vehicle charging spaces

Moved to the Accessibility Code TAG from the EV Charging Facilities TAG and includes:

- Minimum number- 5% not less than 1
- Accessible route
- Space size- 11'-0"
- Access aisle- 5'-0"
- Signage-
"Accessible Charging Please Use Last"
- Clearances around charging equipment



MR 1341 Accessibility: Define Existing Building

Definitions of existing building and existing facility

Clarifies the definitions to mean "existing building" and "existing facility" are buildings or facilities that were erected, or for which a building permit was issued, prior to the effective date of the 2026 Minnesota State Building Code.

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MR 1341 Accessibility: Assisted living facilities

Group I-2 nursing homes and I-2 assisted living facilities with dementia care

Added I-2 assisted living with dementia care occupancy group.

10% but not less than one of each type of dwelling unit or sleeping unit to be an Accessible unit.

90% of units must comply with Minnesota Department of Health licensing rule part 4658.4510.

Percentages preferred by MDH.

45

MR 1341 Accessibility: Significant Changes

New assisted toileting and bathing criteria

- New option for assisted toilet and bathing features in Group I-1 care facility resident rooms in substitute for up to 50% of accessible toilet and bathing facilities.
- Allows space and features for caregiver to assist
 - Increased clearance around water closet.
 - Swing-up grab bars on both sides of water closet.
 - Permanent shower seats not permitted.
 - Shower controls located to facilitate caregiver access.



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MR 1341 Accessibility: Significant Changes

Power operated doors

Requires power operated doors at public entrances that are required to be accessible in:

- Group A1, A2, A3 and A4 occupancies with occupant loads that are more than 300.
- Group B, M, and R-1 occupancies with occupant loads that are more than 500.



Previously, power door operators were an option for accessible entrance doors.

MR 1341 Accessibility: Changes to the ICC A117.1-2017

Turning Circle and Clear Floor Space sizes increased

- For new construction only.

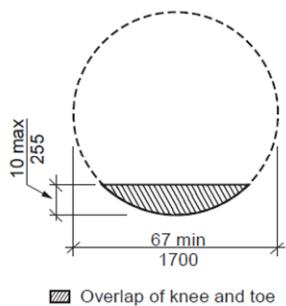


FIGURE 304.3.1.1
CIRCULAR TURNING SPACE - NEW BUILDINGS
SIZE AND OVERLAP

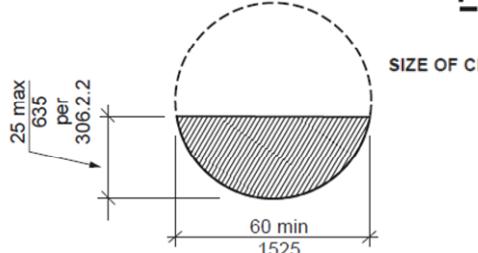


FIGURE 304.3.1.2
CIRCULAR TURNING SPACE - EXISTING BUILDINGS - SIZE
AND OVERLAP

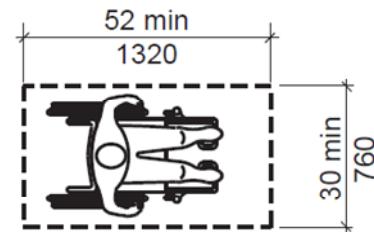
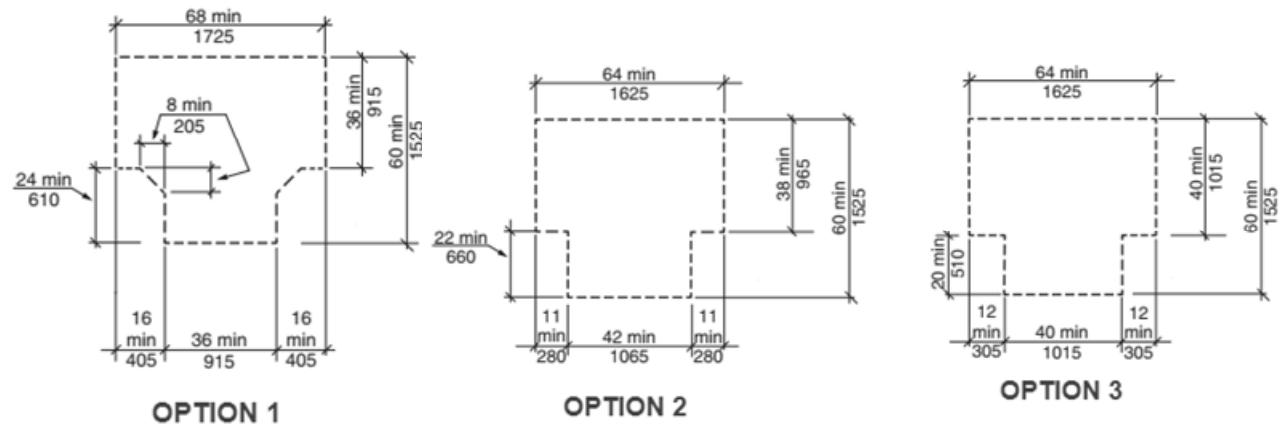


FIGURE 305.3.1
SIZE OF CLEAR FLOOR SPACE - NEW BUILDINGS

MR 1341 Accessibility: Changes to the ICC A117.1-2017

T-shaped turning space size increased

- For new construction only.



Residential Energy Code 2026 Highlights



MR 1322 Res. Energy: Significant changes

- Redefine “residential buildings” to no longer include R-2, R-3, R-4 buildings 3 stories and less. (RE-49)



MR 1322 Res. Energy: Significant changes



Prescriptive Envelope
Compliance Alternative
(RE-51)

Component	Envelope Requirement
Wood framed wall R-value	21 + 0
Fenestration U-Factor	0.23
Ceiling R-value	60
Insulation entirely above roof deck	35
Basement Wall R-value	15 ci + 5
Crawl Space Wall R-value	15 ci or 10ci + 5
Floor R-value	30; or 19 + 7.5 ci; or 20ci
Mass Wall R-value	15/20
Unheated Slab R-value & Depth	10 ci, 4 ft
Heated Slab R-value & Depth	R-10 ci, 4 ft plus R-5 full slab

MR 1322 Res. Energy: Significant changes

Thermal envelope backstop

- Max. 25% window to wall ratio
- Component Performance Alternative replaced with a Total UA. (RE-45)



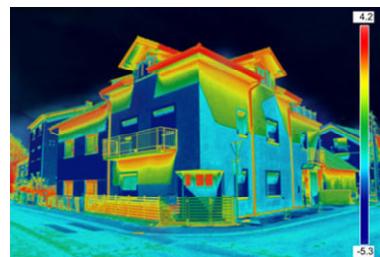
MR 1322 Res. Energy: Air Leakage

Change measurement from ACH to CFM/SFE

- Establish allowable air leakage at 0.20 cfm/sf
- Eliminate all exceptions

Note: 95% of homes with a HERS rating in past 3 years would have met or exceeded this level. Only 83% of these homes would meet 2.5 ACH in the 2024 IECC. - RESNET data

(RE-43)



MR 1322 Res. Energy: Significant changes

Siding Replacement Change:

Exterior continuous insulation
NOT REQUIRED for partial or full
wall covering replacement.

(RE-48)



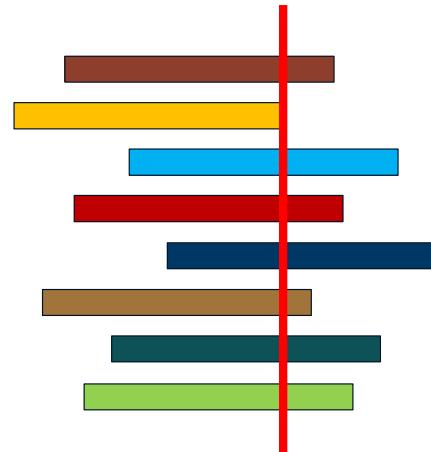
MR 1322 Res. Energy: Significant changes

Performance Compliance Envelope Flexibility

Tradable envelope allowance in ERI path
changed from **15% to 8%**

*(backstop to current 2015 Minnesota prescriptive
envelope)*

(RE-44)



Next steps in adoption

- CCAC has made recommendations to the commissioner for rulemaking
- Staff is in the process of posting the dual notices for rule adoption
- Residential Energy must undergo “durability study” (Minnesota Statutes 326B.118)
- Finalize rule



Work in Progress- State delegations

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Delegations Work: MS 326B.107 Municipal Agreements

Subd. 2. Municipal agreement for all building projects.

(a) The commissioner shall enter into an agreement with a municipality other than the state for plan review, inspection, code administration, and code enforcement on public buildings and state-licensed facilities in the jurisdiction if the municipality requests to provide those services and the commissioner determines that the municipality has enough adequately trained and qualified inspectors to provide those services. In determining whether a municipality has enough adequately trained and qualified inspectors to provide the service, the commissioner must consider all inspectors who are employed by the municipality, are under contract with the municipality to provide inspection services or are obligated to provide inspection services to the municipality under any other lawful agreement.

(b) The criteria used to make this determination shall be provided in writing to the municipality requesting an agreement.

Delegations Work: History

In the beginning (1970's):

1974

- Legislature required Dept of Administration to oversee selection of designers for state projects.
- Outside the 7-county metro area there was no code administration.

1978

- Legislature required Dept of Administration/Building Codes and Standards Division (BCSD) to review and approve construction documents for all public buildings and state licensed facilities.

Delegations Work: History

1988

- Legislature required Dept of Administration/BSCD to review and inspect all public buildings and state licensed facilities.
- BSCD only provided plan review up until the early 90's

1993

- BCSD requested building officials from Class I cities to consider accepting delegation of inspection or plan review and inspection work for state projects.
- Projects were delegated on a project-by-project basis.

Delegations Work: History

2003:

- A new Municipal Delegation Agreement process was implemented.
- "Blanket" delegations for state projects were extended to municipalities that could demonstrate that they had enough qualified inspectors.
- Ended project-by-project delegation assignments
- Began requiring an "Initial Application for Plan Review" to track state projects routed to municipalities through delegation.

Delegations Work: History

2017

- Initial applications for plan review were dropped.
- State projects assigned exclusively upon blanket delegation agreements for inspections; or plan review and inspections.
- Data regarding state projects in delegated municipalities was lost.

Proposed and currently under discussion:

- DLI/CCLD will return to requiring an initial application for plan review.
- Seeking ways for more people to qualify for delegated work.
- Ensuring that the evaluation of qualified persons is transparent & fair

Delegations Work: Why Change?

- Many experienced building officials retiring (widespread loss of delegations)
 - Fewer building inspectors are entering the field.
 - DLI/CCLD is not staffed to perform all this work typically delegated
 - DLI is the entity responsible for ensuring code compliance for public buildings and state licensed facilities.
 - Delegating work will free CCLD up to provide mentoring and training
 - There have been concerns that the current system to evaluate qualified persons is not transparent and seems not to be fair.
- Proponents for change want a more objective evaluation process for qualified persons.

Delegations Work: Today

Prisons- Levels 1 through 4
County Jails
Hospitals
Psychiatric Hospitals
Nursing Homes
Dementia Care
Public Schools
Colleges & Universities
Outpatient Surgical Centers
Assisted Living
Boarding Care
Hospice
MNDot Facilities
MNDNR Facilities
Public Offices
Supervised Living Facilities

All-or-Nothing

If not qualified for Prisons and Hospitals, then can't qualify for any

- Inspections
- Plan Review & Inspections
- No continuing education requirements
- No delegation specific training or mentoring
- No periodic review of delegations
- Review of qualifications seems somewhat subjective

Delegations Work: Under Discussion

- Inspections
- Plan Review & Inspections

Prisons- Levels 1 through 4
County Jails
Hospitals
Psychiatric Hospitals
Nursing Homes
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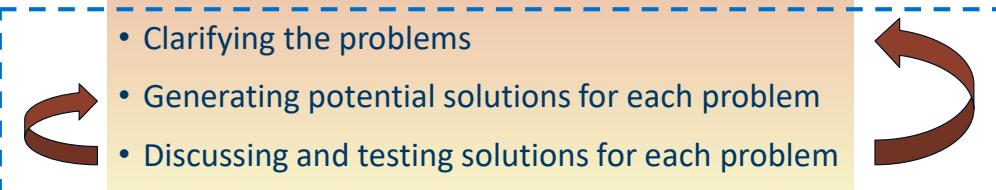
Discussing a Tiered System

Developing levels of qualified persons and corresponding delegations:

- More people can qualify as inspectors and/or plan reviewers
- More municipalities can qualify for delegation agreements.
- Adding CE requirements for QPs
- Adding QP status to BO credential
- Adding DLI Training programs
- Periodic review of delegations

Delegations Work: Where are we Now?

- Identification of a problem needing attention
- TAG Formation
- Clarifying the problems
- Generating potential solutions for each problem
- Discussing and testing solutions for each problem
- Integrating best fit solutions for each problem
- Review integrated solution for issues
- Codify into rule language
- Final TAG review and recommendations
- Proceed with rulemaking



Delegations Work: Timing

- Winter/Spring 2026: Working though to clarify issues and identify strategies
- Late Spring 2026: Integrating best practice solutions into a composite program
- Summer 2026: Develop rules
- Late Summer 2026: TAG meetings to finalize rules recommendation
- Fall 2026: Construction Codes Advisory Council recommendation for rulemaking.
- Late Fall 2026: Commissioner consideration for rulemaking
- January 2027: Dual Notice posted

Work in Progress- Building Official Education

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Building Official Education

- DLI/CCLD partnering with MN DCTC (Minnesota Valley Technical College)
 - 30 credit certificate (60 points)
 - Nationwide online comprehensive program with many demonstrations
- NHCC BIT Certificate still a good choice, esp. for trades workers
 - 14 credit certificate (28 points)
 - Online program
- DLI/CCLD strongly considering providing scholarship grants as incentive
- DLI/CCLD will be completely revising our BOL one-week training program
- DLI/CCLD will create a web page “Pathways to careers in Building Codes”

- Lots going on at CCLD!
- Don't be bashful about participating
- New codes coming out in late 2026
- Apply for a "Reserved Delegation" if you are a certified building official
- Let me know what you think about modifications to delegations
- If you have other ideas on how to draw more into the field, email me!

Questions or Comments

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